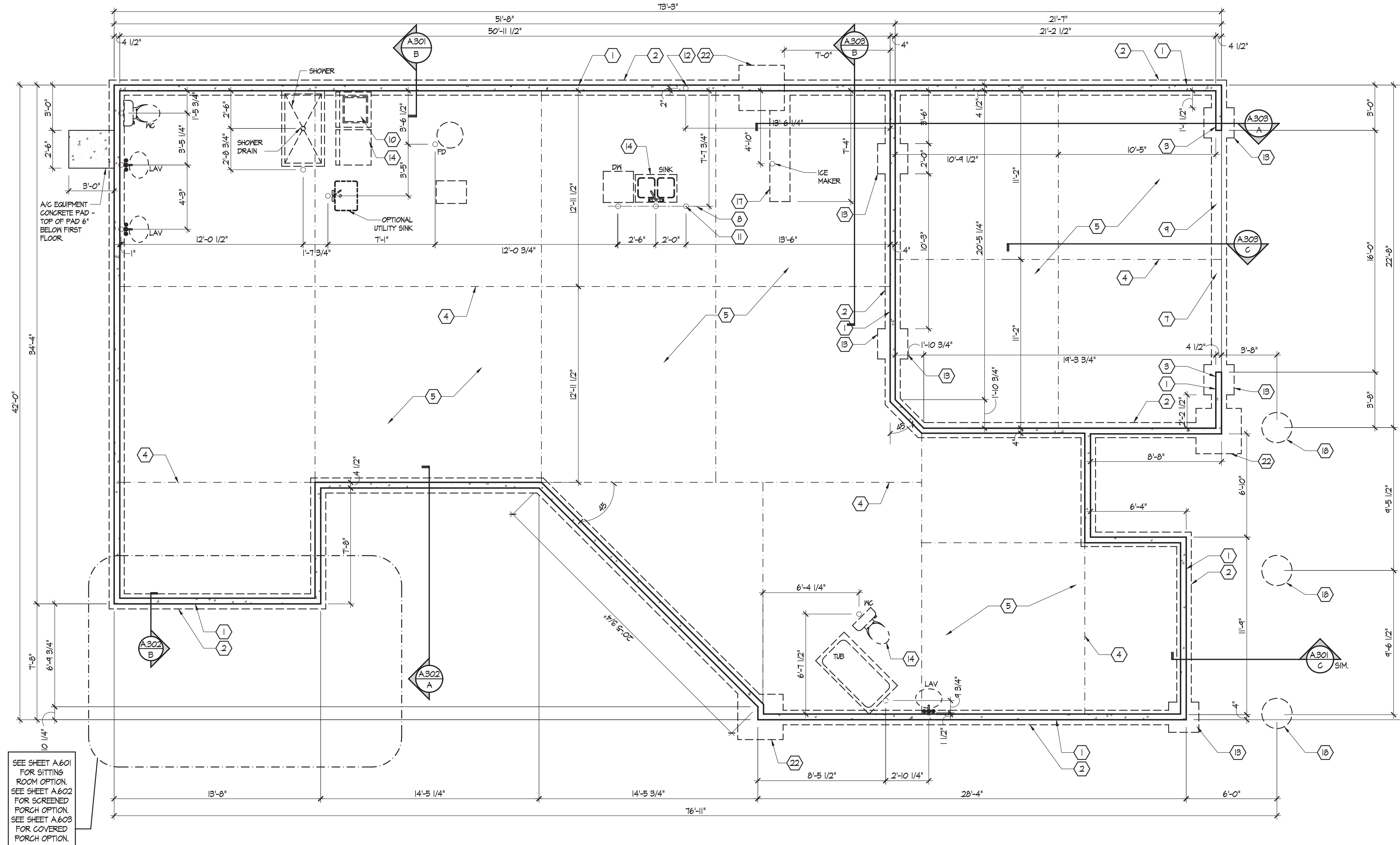


# IRRIGATION LINE !!

## BASE PRINTS

THIS LOT GETS EXTENDED OWNER BATH and Optional Hall bath with shower - those prints are below



**Bonus Room Foundation Plan**

Scale: 1/4" = 1'-0"

### FOUNDATION CODED NOTES

- (FOUNDATION PLAN ONLY)  
(ALL NOTES NOT APPLICABLE TO ALL SHEETS/UNIT TYPES)
- FOURED CONCRETE FOUNDATION STEM WALL (TYPICAL) - SEE WALL SECTIONS SHEETS.
  - 12" WIDE CONCRETE FOOTING WITH STEEL BAR REINFORCING AS REQUIRED BY SOILS ENGINEER - MAINTAIN BOTTOM OF FOOTING A MINIMUM 30" BELOW FINISH GRADE AND TOP OF FOOTING SET 12" BELOW FINISHED FLOOR - TYPICAL.
  - PROVIDE MIN. 2 ANCHOR BOLTS EACH SIDE OF GARAGE DOORS.
  - SAW CUT CONTROL JOINT IN CONCRETE SLAB, 1/8" WIDE x 1/4" DEEP - TYPICAL.
  - 4' 6LASS FIBER REINFORCED CONCRETE FLOOR SLAB OVER 6 MIL. POLYETHYLENE VAPOR BARRIER AND 4" GRAVEL BASE - TYPICAL.
  - 4' 6LASS FIBER REINFORCED CONCRETE FLOOR SLAB OVER 4" GRAVEL BASE.
  - PROVIDE WEATHERLIP @ GARAGE DOOR OPENING - SEE DETAIL D, SHEET A301.
  - PIPE LOCATION CENTERED ON WALL ABOVE.
  - NO STEM WALL AT GARAGE DOOR OPENINGS.
  - WASHER ALWAYS LOCATED LEFT OF DRYER. OPTIONAL UTILITY SINK ALWAYS LOCATED LEFT OF WASHER.
  - ELECTRICAL CONDUIT UNDER SLAB FOR ELECTRICAL OUTLET AT KITCHEN ISLAND.
  - ELECTRICAL CONDUIT SLAB PENETRATION.
  - 24" SQUARE CONCRETE FOOTING WITH STEEL BAR REINFORCING AS REQUIRED BY SOILS ENGINEER - MAINTAIN BOTTOM OF FOOTING A MINIMUM 30" BELOW FINISH GRADE AND TOP OF FOOTING SET 12" BELOW FINISHED FLOOR.
  - DASHED LINES INDICATE LOCATION OF PLUMBING FIXTURES ABOVE - SHOWN FOR REFERENCE ONLY.
  - 10' WIDE x 10' DEEP CONCRETE PIER WITH 24" DIA. FOOTING. MAINTAIN BOTTOM OF FOOTING A MINIMUM 30" BELOW FINISH GRADE AND TOP OF PIER SET 6" BELOW FINISHED FLOOR.
  - DOTTED LINE INDICATES WALL LINE OF BASE UNIT.
  - 8" DEEP x 16" WIDE THICKENED SLAB WITH (2) NO. 4 REBAR CONTINUOUS.
  - 24" DIA. FOOTING - MAINTAIN BOTTOM OF FOOTING A MINIMUM 30" BELOW FINISH GRADE.
  - 12" DEEP CONCRETE FOOTING WITH (2) NO. 5 REBAR EACH WAY - SEE PLANS FOR SIZE - MAINTAIN BOTTOM OF FOOTING A MINIMUM 30" BELOW FINISH GRADE. 12" THICKENED SLAB EDGE TO CONTINUE DOWN TO FOOTING.
  - 24" WIDE CONCRETE FOOTING WITH STEEL BAR REINFORCING AS REQUIRED BY SOILS ENGINEER - MAINTAIN BOTTOM OF FOOTING A MINIMUM 30" BELOW FINISH GRADE AND TOP OF FOOTING SET 12" BELOW FINISHED FLOOR.
  - 12" DEEP x 16" WIDE THICKENED SLAB WITH (2) NO. 4 REBAR CONTINUOUS. TYPICAL UNDER ALL INTERIOR SHEAR WALLS.
  - 36" SQUARE CONCRETE FOOTING WITH STEEL BAR REINFORCING AS REQUIRED BY SOILS ENGINEER - MAINTAIN BOTTOM OF FOOTING A MINIMUM 30" BELOW FINISH GRADE AND TOP OF FOOTING SET 12" BELOW FINISHED FLOOR.
  - 30" SQUARE CONCRETE FOOTING WITH STEEL BAR REINFORCING AS REQUIRED BY SOILS ENGINEER - MAINTAIN BOTTOM OF FOOTING A MINIMUM 30" BELOW FINISH GRADE AND TOP OF FOOTING SET 12" BELOW FINISHED FLOOR.
  - 24" SQUARE x 8" DEEP THICKENED SLAB WITH (3) NO. 4 REBAR CONTINUOUS EACH WAY.

### GENERAL FOUNDATION NOTES

- SOIL BEARING CAPACITY ASSUMED TO BE 2500 PSF AND SHALL BE VERIFIED BY SOILS ENGINEER PRIOR TO PLACEMENT OF BUILDING FOUNDATION. CONSULT ARCHITECT WHEN INADEQUATE SOIL CAPACITIES ARE FOUND.
- ALL DIMENSIONS ARE TO FACE OF FOUNDATION / BASEMENT WALL UNLESS NOTED OTHERWISE.
- HOLD DOWN TOP OF FOUNDATION WALL 8" AT ALL ENTRY DOORS TO ALLOW FOR EXTENSION OF FLOOR SLAB UNDER THE DOOR THRESHOLDS.
- PLUMBING CONTRACTOR TO USE ROUND BUCKETS FOR FORMED SLAB PENETRATIONS.
- CONCRETE CONTRACTOR TO INSTALL 1/2" EXP. JT. AROUND THE PERIMETER OF GARAGES.
- CONCRETE CONTRACTOR COORDINATE WITH PLUMBING FOR LOCATION OF BLOCKOUTS FOR UNDERSLAB LINES.
- CONCRETE CONTRACTOR - SEE FIRST FLOOR PLAN FOR SIDEWALKS AND PATIOS.
- CONCRETE CONTRACTOR TO VERIFY SLAB PENETRATION AT TUB/SHOWER OPTIONS.
- SEE WALL SECTION SHEETS FOR ANCHOR BOLT SPECIFICATIONS.



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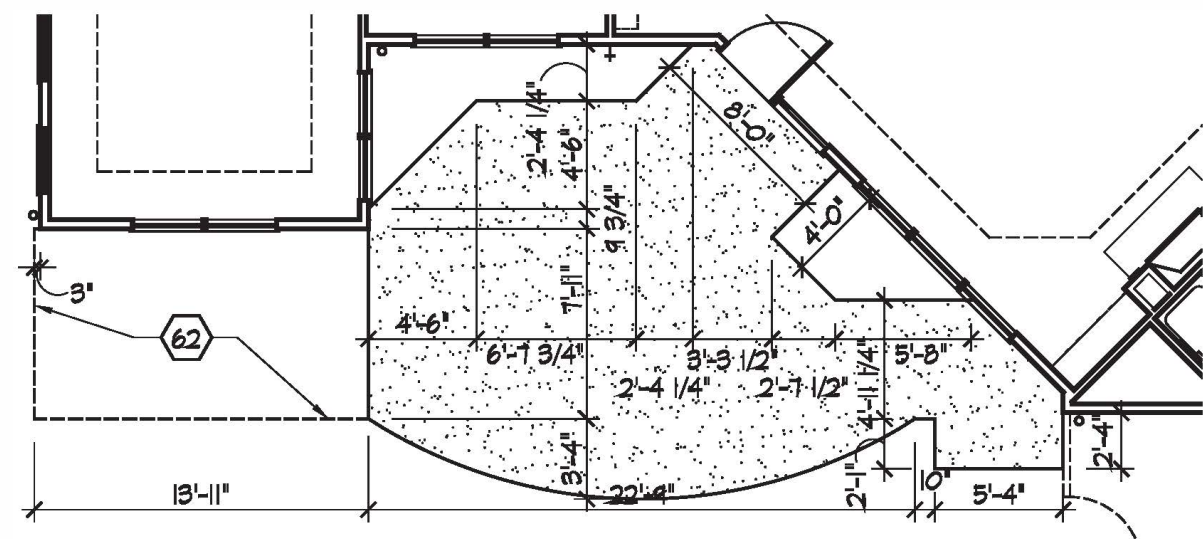
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		6/12/18

**Architect Project Number**  
2019-044

Community Dates & Revisions	
Date Originated	20 DEC 2019
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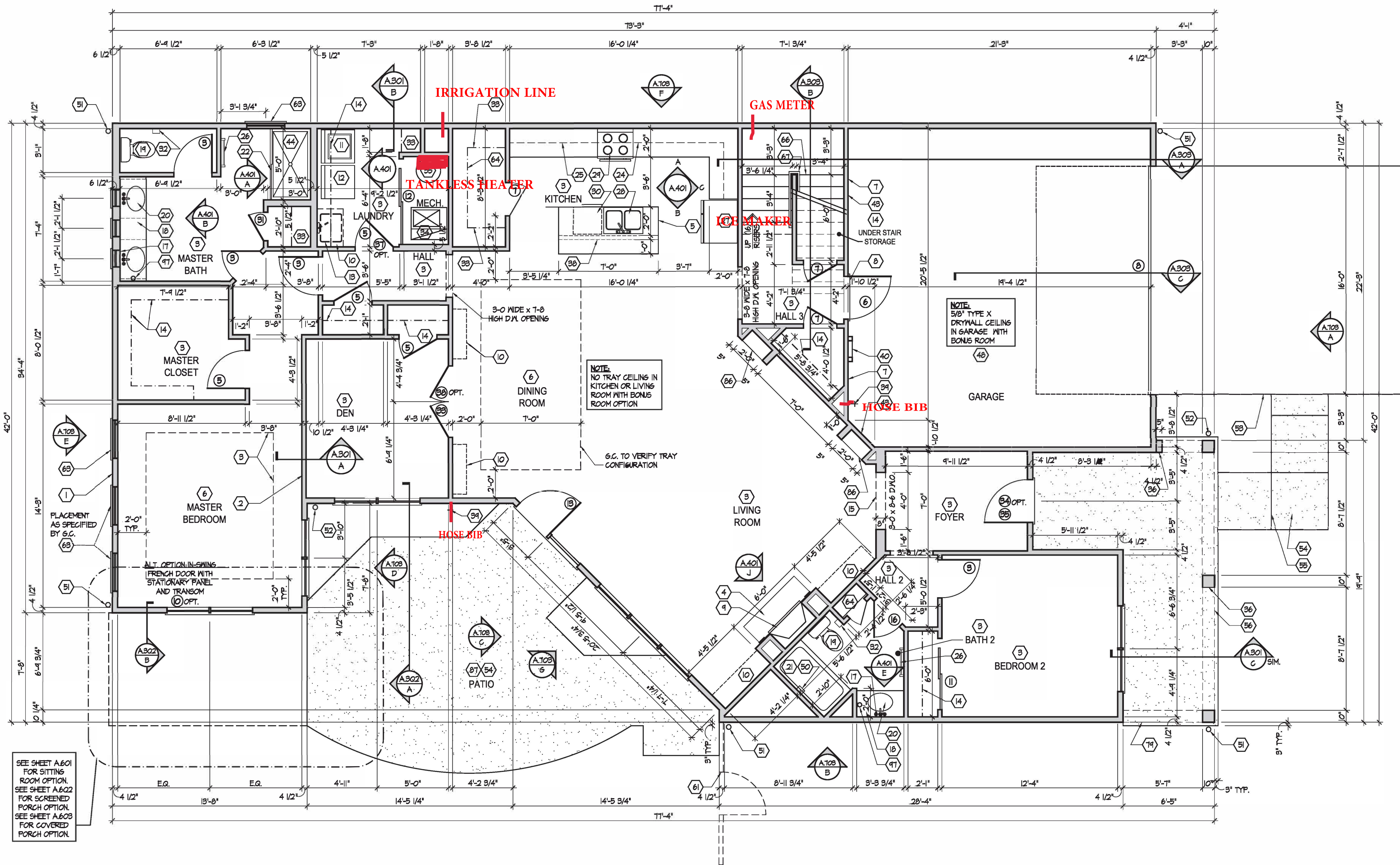
**Drawing Title**  
**ELEVATION A:**  
**Bonus Rm Foundation Plan**

Architectural Style  
 European Country  
 Sheet Number  
**A.700**  
 D4 M - 2017



**Courtyard - Standard Patio**

Scale: 1/8" = 1'-0"



**Bonus Room First Floor Plan**

Scale: 1/4" = 1'-0" SEE SHEET A.701B FOR FRAMING PLAN.

**GENERAL NOTES**

1. PLAN DIMENSIONS ARE TO FACE OF ROUGH FRAMING. EXTERIOR WALL DIMENSIONS INCLUDE THICKNESS OF SHEATHING.
2. REFER TO SITE LAYOUT PLAN FOR BUILDING LOCATIONS AND ORIENTATIONS.
3. DOORS NOT OTHERWISE DIMENSIONED SHALL BE LOCATED WITH ROUGH OPENING 4" FROM INTERSECTING WALLS.
4. USE ONE CRIPPLE (JACK) STUD AND ONE FULL HEIGHT (KING) STUD UNDER BEAM AND HEADER BEARING LESS THAN 4'-0" AND ONE CRIPPLE STUD AND TWO FULL HEIGHT STUDS UNDER BEAM AND HEADER BEARING 4'-0" OR GREATER UNLESS SHOWN OTHERWISE.
5. OPTIONAL GAS ROUGH-IN FOR COURTYARDS - LOCATION PER 6.C.

**FIRST FLOOR PLAN CODED NOTES**

- (FIRST FLOOR UNIT PLANS ONLY)  
(ALL NOTES NOT APPLICABLE TO ALL SHEETS/AUT TYPES)
1. EXTERIOR STUD WALL: 2x4 WOOD STUDS AT 16" O.C. WITH 1/2" DRYWALL ON ALL INTERIOR SURFACES AND 1" ZIP SYSTEM "R-SHEATHING" ON EXTERIOR SURFACES. TYPICAL UNLESS NOTED OTHERWISE.
  2. INTERIOR STUD WALL: 2x4 WOOD STUDS AT 16" O.C. WITH 1/2" DRYWALL ON ALL FINISHED SURFACES - TYPICAL.
  3. FLAT DRYWALL CEILING @ 9'-0" A.F.F. - TYPICAL UNLESS NOTED OTHERWISE.
  4. 12" DEEP CERAMIC TILE HEARTH EXTENSION - CENTERED ON FIREBOX. SEE FLOOR PLAN FOR WIDTH.
  5. ISLAND AND BASE CABINETS & COUNTERTOP - FINISH ALL EDGES OF CABINETS & COUNTERTOP.
  6. TRAY CEILING @ 10'-0" A.F.F.
  7. PROVIDE FIBERGLASS BATT INSULATION IN GARAGE WALLS COMMON TO LIVING SPACE.
  8. GARAGE SLAB & FIRST FLOOR FLUSH AT BACK OF GARAGE - SLOPE 6" TO GARAGE DOOR.
  9. (OPTIONAL) PREFABRICATED METAL FIREBOX UNIT, PROVIDE GAS LINE, GAS LOG SET AND SCREEN. CONFIRM ROUGH OPENING OF FIREPLACE WITH PROJECT MANAGER.
  10. OPTIONAL CABINETS - SEE INTERIOR ELEVATIONS.
  11. WASHER LOCATION - PROVIDE WASHER BOX ON BACK WALL. WASHER ALWAYS LOCATED LEFT OF DRYER.
  12. DRYER LOCATION - DRYER VENT IN WALL.
  13. OPTIONAL UTILITY SINK AND FAUCET - INSTALL ROUGH-IN PLUMBING ONLY.
  14. SINGLE CLOSET ROD & SHELF (61 1/2" A.F.F.) - VINYL COATED WIRE WITH STANDARD SPACINGS.
  15. ARCHED OPENING. SPRING POINT @ 7'-8" A.F.F. TOP OF ARCH 8'-6" ABOVE SPRING POINT.
  16. LOCATION OF DOUBLE 2x4 STUD WALL.
  17. FRAMELESS MIRROR LOCATION - 42" HIGH X 2" SHORTER THAN VANITY TOP (1" EACH SIDE) - SET BOTTOM OF MIRROR AT TOP OF BACKSPLASH.
  18. VANITY BASE AND COUNTERTOP 31 1/2" A.F.F.
  19. TOILET & SEAT.
  20. SELF-RIMMING COUNTER LAVATORY AND FAUCET.
  21. 32" X 60" STANDARD TUB/SHOWER & FAUCET WITH CERAMIC TILE SURROUND.
  22. TEMPERED GLASS SHOWER ENCLOSURE AND DOOR.
  23. 22" X 54" OPTIONAL FULL-DOWN STAIR LOCATED BETWEEN TRUSSES ABOVE. DRYWALL ON STAIR SHALL BE MOUNTED WITH SCREWS INTO THE TOP & BOTTOM DOOR CROSS SUPPORTS WITH THE CENTER GLEED LEAVING NO SCREWS EXPOSED. (ATTIC ACCESS PANEL REQUIRED IF FULL-DOWN STAIR OPTION IS NOT CHOSEN. SEE NOTE #18 FOR MORE INFORMATION.)
  24. BASE CABINETS AND COUNTERTOP.
  25. LINE OF WALL CABINETS ABOVE.
  26. 24" LONG TOWEL BAR - 54" A.F.F. (58" A.F.F. ABOVE TOILET).
  27. REFRIGERATOR LOCATION.
  28. DOUBLE BOWL SINK AND FAUCET.
  29. RANGE LOCATION.
  30. DISHWASHER LOCATION.
  31. 10" X 10" BUILT-UP COLUMN - TYPICAL. SEE DETAIL D, SHEET A.304 FOR MORE INFORMATION. 8-1/2" X 8-1/2" FRAMING DIMENSION FOR COLUMN.
  32. TOILET PAPER DISPENSER.
  33. (4) 16" DEEP WIRE SHELVES (24", 42", 55", 68" A.F.F.) - STANDARD SPACINGS. TYPICAL AT LINEN CLOSETS AND HALLS, UNLESS NOTED OTHERWISE.
  34. FURNACE LOCATION.
  35. WATER HEATER LOCATION - WITH PAN.
  36. 10" X 10" BUILT-UP COLUMN / PILASTER - TYPICAL. SEE DETAIL F, SHEET A.304 FOR MORE INFORMATION.
  37. 16'-0" X 8'-0" ATTIC STORAGE ABOVE - PROVIDE 3/4" APA RATED SUB-FLOORING ON BOTTOM CHORD OF TRUSSES. OSB SHEATHING RATED FOR 20 PSF LIVE LOAD IS PERMITTED AS AN ALTERNATE.
  38. 54" TALL FRAMED 1/2" WALL TO UNDERSIDE OF BAR COUNTERTOP.
  39. HOSE BIB LOCATION.
  40. SURFACE MOUNTED ELECTRIC PANEL LOCATION. SEE DETAIL ON SHEET A.304.
  41. PROVIDE (2) CRIPPLE STUDS (JACKS) UNDER ALL HEADERS IN OPENINGS OVER 48" WIDE - TYPICAL. SEE #GENERAL NOTES FOR MORE INFORMATION.
  42. ORK INDICATES NUMBER OF FULL-HEIGHT (KING) STUDS AT BEARING LOCATIONS.
  43. MINIMUM 1/2" DRYWALL ON GARAGE SIDE.
  44. 32" X 60" STANDARD SHOWER BASE.
  45. CUSTOM TILED ROLL-IN SHOWER BASE - SEE PLAN FOR SIZE.
  46. WOOD GUARD RAIL - SEE DETAIL K ON SHEET A.304.
  47. 12" WIDE (BOTTOM) X 8" WIDE (TOP) PYPON PVC TAPERED COLUMN WRAP CMFMBX12X12FT WITH CRAFTSMAN STYLE CAP AND BASE. SEE DETAIL P, SHEET A.304 FOR DETAILS.
  48. FLAT DRYWALL CEILING ON UNDERSIDE OF BOTTOM CHORD OF ROOF TRUSSES OR FLOOR JOISTS.
  49. FLAT DRYWALL CEILING @ 8'-4" A.F.F.
  50. SOAP DISH - 5" HIGH X 1" WIDE.
  51. DOWNSPOUT LOCATION.
  52. DOWNSPOUT DISCHARGED INTO BLACK PIPE AND ROUTED UNDER WALKS OR PATIO.
  53. EDGE OF DRIVEWAY.
  54. 4" THICK SLAB TYPICAL @ CONCRETE WALKS/PORCHES/PATIOS.
  55. CONTROL JOINTS - TYPICAL.
  56. DASHED LINES INDICATE BOXED BEAM ABOVE - WIDTH TO MATCH COLUMN.
  57. 12" DEEP SHELF (60" A.F.F.) - VINYL COATED WIRE - STANDARD SPACINGS.
  58. SHOWER WALL - 6'-0" A.F.F.
  59. OPTIONAL GARAGE SHELVING.
  60. OPTIONAL DESK.
  61. COURTYARD GATE AND FENCE LOCATION.
  62. CONTROL JOINTS - TYPICAL. LINE INDICATES OPTIONAL PATIO SECTION.
  63. OPTIONAL WINDOW.
  64. (4) 12" DEEP WIRE SHELVES (24", 42", 55", 68" A.F.F.) - STANDARD SPACINGS.
  65. 32" X 60" SHOWER BASE WITH BUILT-IN SEAT.
  66. HARDBOARD TREADS AND RISERS.
  67. WOOD HANDRAIL - 34" ABOVE STAIR TREADS. RETURN ENDS TO WALL OR NEHEL POST.
  68. SINGLE BOWL SINK AND FAUCET.
  69. 20" RANGE LOCATION.
  70. FLAT DRYWALL CEILING @ 8'-0" A.F.F.
  71. LINE OF BREAK OF SLOPED DRYWALL CEILING - FOLLOW BOTTOM CHORD OF ROOF TRUSSES OR RAFTERS ABOVE.
  72. SLOPED CEILING AREA ABOVE.
  73. ATTIC ACCESS PANEL: 22" X 30" MINIMUM. PANEL TO BE 6" MIN. ABOVE BASE IF LOCATED IN KNEE WALL. PANEL TO HAVE 1" QUARTER ROUND MOULDINGS AROUND EDGE. PANEL SHALL BE WEATHER-STRIPPED AND INSULATED TO A LEVEL EQUIVALENT TO THE INSULATION ON THE SURROUNDING SURFACES. IF IN THE CEILING, A BATTLE IS REQUIRED TO CONTAIN LOOSE-FILL INSULATION.
  74. UNDER THE COUNTER REFRIGERATOR LOCATION.
  75. FLAT DRYWALL CEILING @ 7'-0" A.F.F.
  76. HALF WALL @ 36" A.F.F. WITH 1 X 6 HARDWOOD CAP.
  77. SINGLE CLOSET ROD & SHELF (48" A.F.F.) - VINYL COATED WIRE WITH STANDARD SPACINGS.
  78. KNEE WALL: 2x4 WOOD STUDS AT 16" O.C. WITH 1/2" DRYWALL ON ALL INTERIOR SURFACES AND 1/4" OSB BACKER PANEL ON EXTERIOR SURFACES - TYPICAL. RUN FROM FLOOR STRUCTURE BELOW TO UNDERSIDE OF ROOF FRAMING.
  79. WIDTH OF HEADER TO MATCH WIDTH OF COLUMN AND BOXED BEAMS (OR DIMS. AS SHOWN).
  80. FULL HEIGHT PANTRY CABINET - SEE INTERIOR ELEVATIONS.
  81. DASHED LINE INDICATES 8' CEILING SOFFIT FOR SANITARY LINES FROM BONUS ROOM.
  82. 10 X 10 P.T. SOLID WOOD COLUMN WITH BEVELED TOP.
  83. PRESERVATIVE PRESSURE TREATED 2x8 PERGOLA RAFTERS @ 16" O.C. - SEE SECTIONS FOR MORE DETAIL.
  84. PRESERVATIVE PRESSURE TREATED 2 X 12 PERGOLA BEAMS - SEE SECTIONS FOR MORE DETAIL.
  85. ZERO-THRESHOLD SHOWER. SEE DETAIL ON SHEET A.304.
  86. BUILT-IN BOOKSHELVES.
  87. CONCRETE PATIO - SEE LANDSCAPING PLANS FOR OPTIONS & DETAILS.
  88. BUILT-IN TILED SHOWER BENCH - SEE DETAIL ON SHEET A.304.
  89. OPTIONAL 42" WIDE X 18" DEEP BASE CABINET PER 6.C.
  90. OPTIONAL 42" BUILT-IN BENCH PER 6.C.
  91. DOGS WASH SHOWER BASE WITH 6" HIGH TILED STEP AND 18" HIGH TILED HALF WALL PER 6.C.
  92. OPTIONAL UNDER THE COUNTER WINE REFRIGERATOR.
  93. PROVIDE INSULATION IN SALES OFFICE WALLS AND CEILING - SEE WALL SECTION.
  94. 2x4 WALL WITH GLASS INSERTS AND WOOD CAP - SEE DETAILS ON SHEET A.614 FOR MORE INFORMATION.
  95. DOTTED LINE INDICATES AREA OF REQUIRED CLEARANCE FOR A.D.A. COMPLIANCE.
  96. CABINETS BY OWNER.
  97. TOWEL RING.

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		11/12/19

Architect Project Number  
2019-044

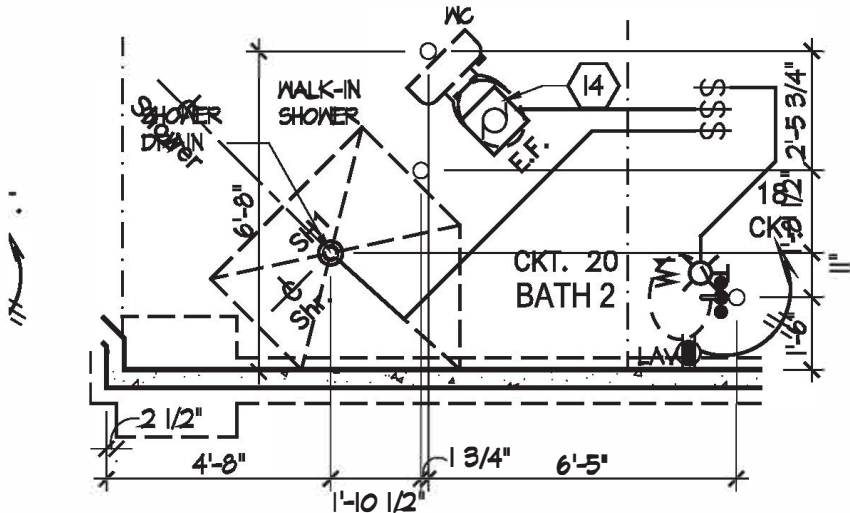
Community Dates & Revisions  
Date Originated 20 DEC 2019  
Bid Permit Construction

Revisions  
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Drawing Title  
**ELEVATION A:  
Bonus Room 1st Floor Plan**

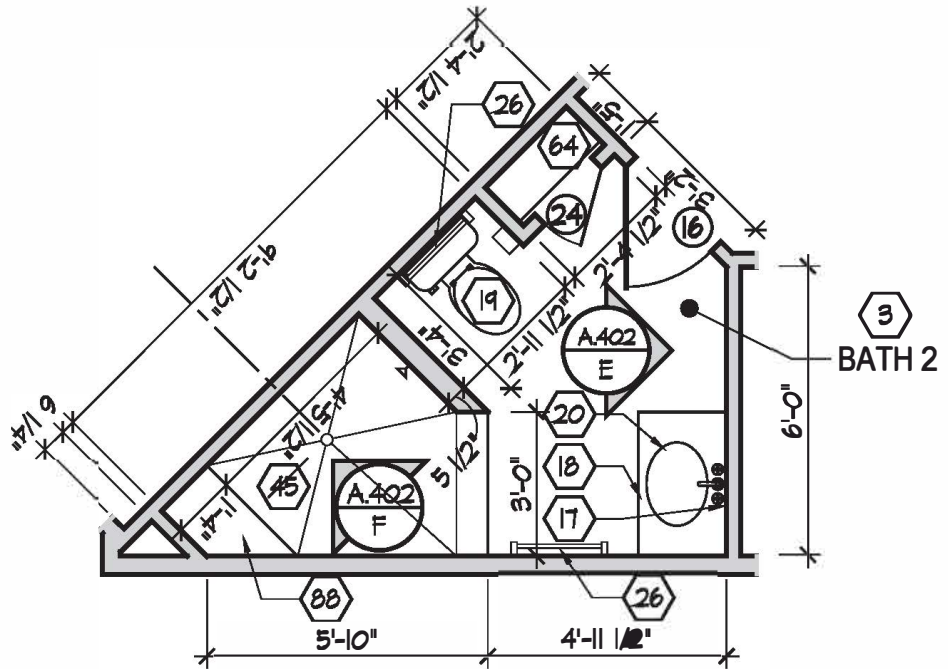
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**A.701**  
D4 M - 2017





# Bath 2 - Optional Walk-in Shower

Scale: 1/4" = 1'-0"

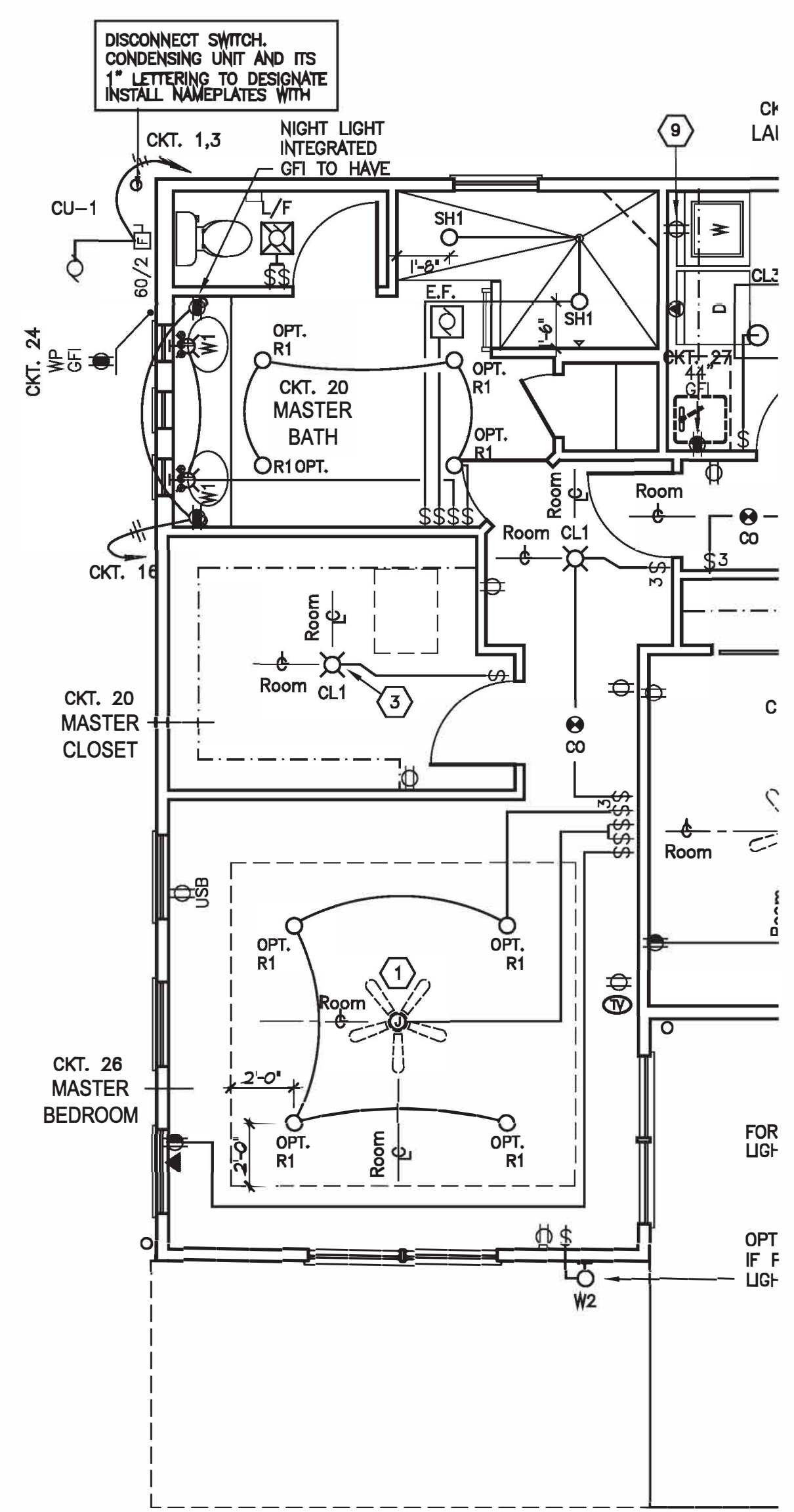


## Bath 2 - Optional Walk-in Shower

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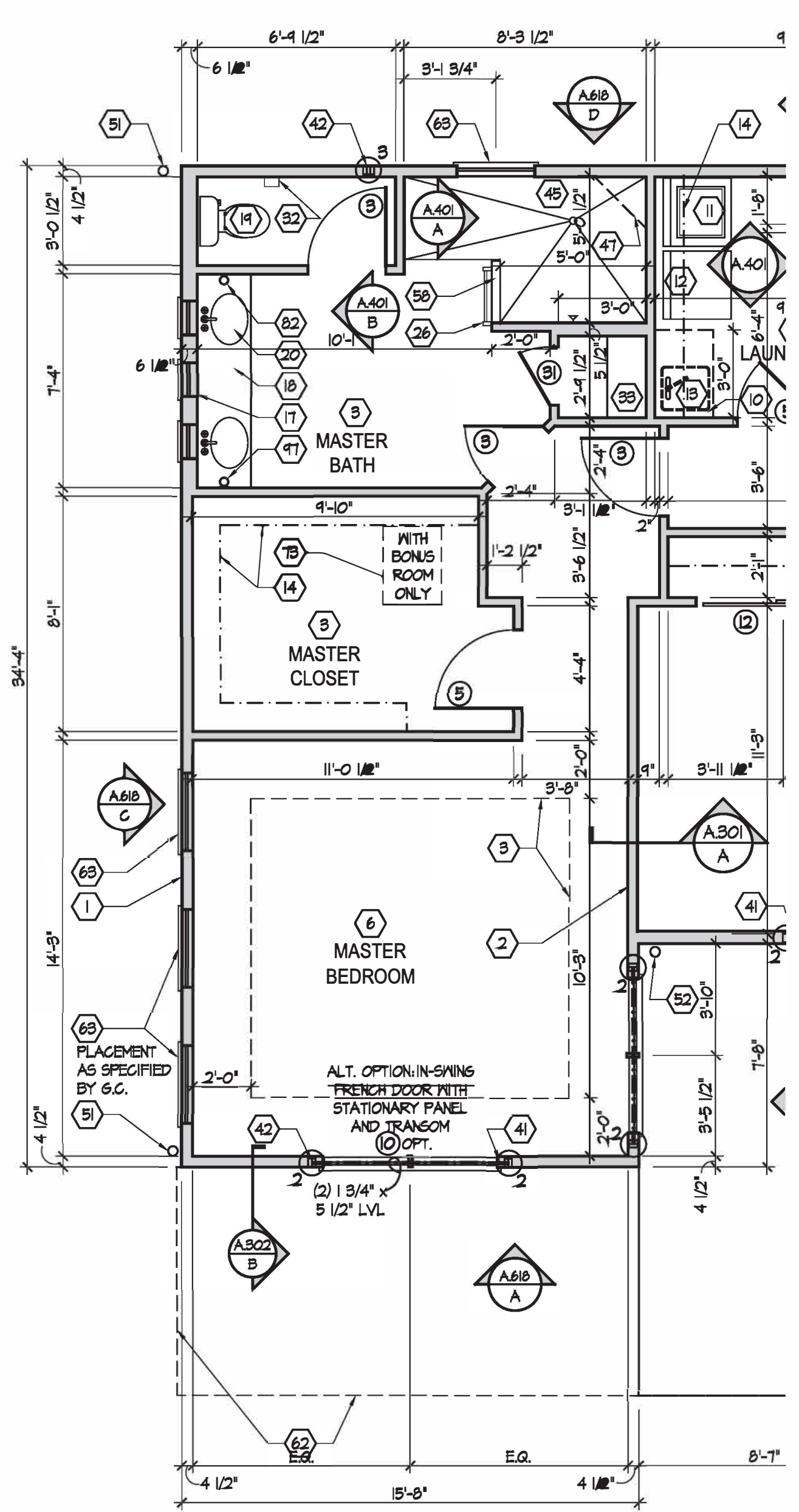
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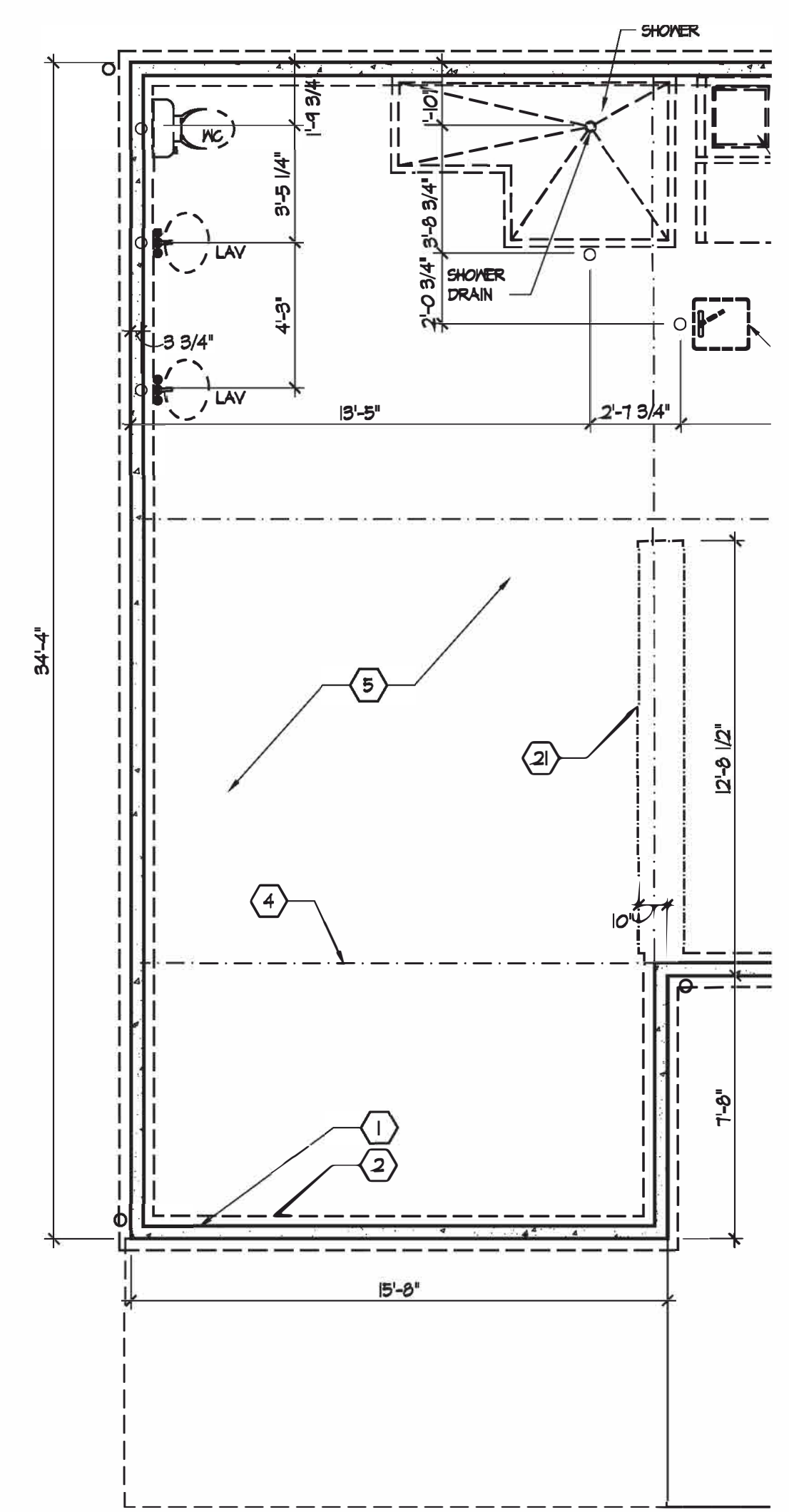
**Electrical Plan - First Floor**

Scale: 1/4" = 1'-0"  
SEE SHEET E.100 FOR ELECTRICAL PLAN LEGEND AND BASE ELECTRICAL PLAN.



**Partial First Floor Plan**

Scale: 1/4" = 1'-0"  
SEE SHEET A.101 FOR PLAN CODED NOTES AND BASE FLOOR PLAN AND S.103, S.104 FOR SHEAR WALL INFO.



**Partial Foundation Plan**

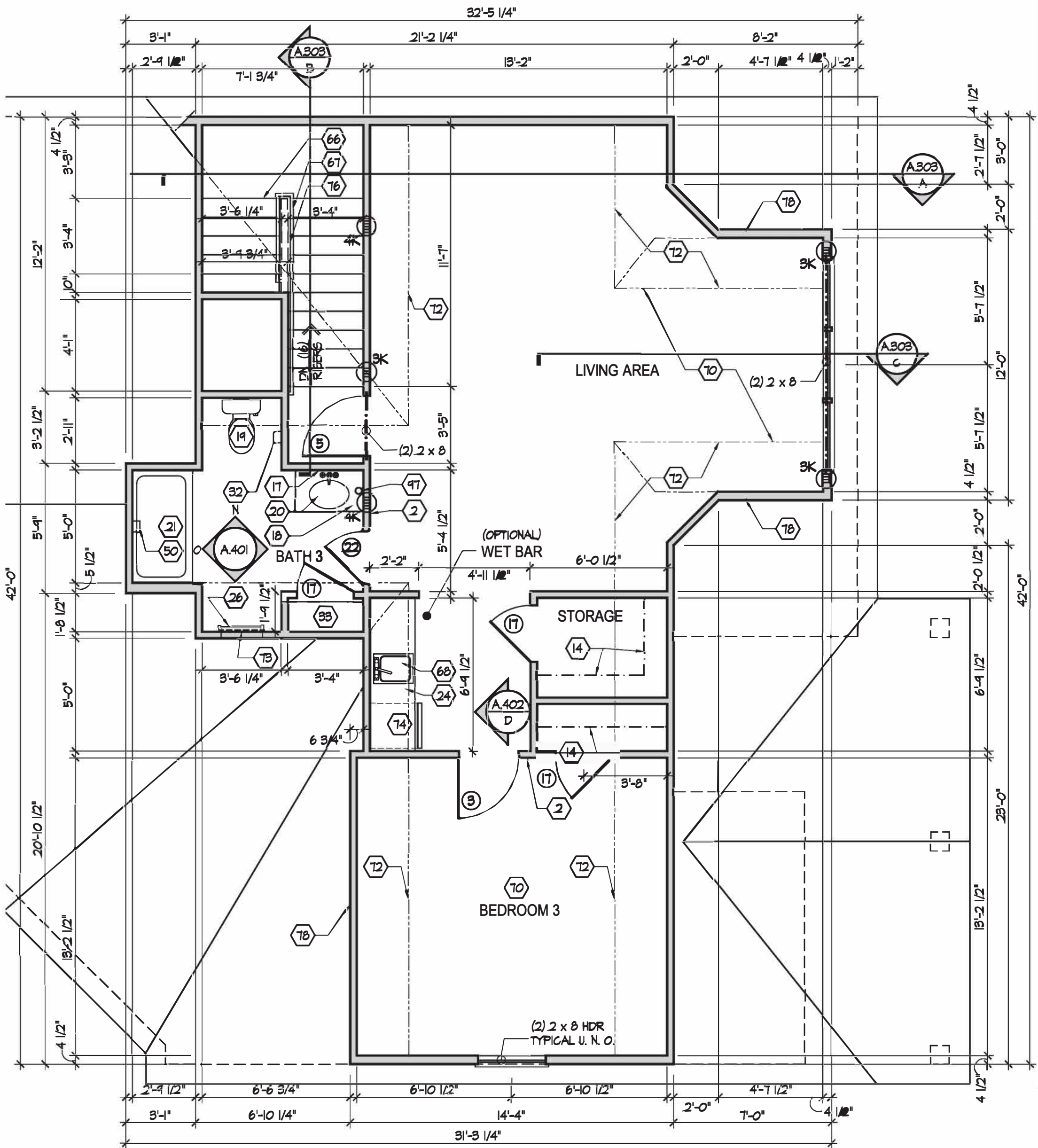
Scale: 1/4" = 1'-0"  
SEE SHEET A.100 FOR FOUNDATION CODED NOTES AND BASE FOUNDATION PLAN.

Prototype Disk No.	Interim Revision	Page Revisions Date
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▲	▲
▲	▲

Drawing Title  
Extended Master Suite  
Plans and Electrical



Bonus Room Second Floor Plan